

KOOSH AT GRIFFIN

A REPLAT OF A PORTION OF TRACT 9, BLOCK 1, PLAT OF SEC'S 28, 29, 31 AND 32 T. 50 S., R. 42 E,
PLAT BOOK 2, PAGE 32, DADE COUNTY RECORDS; SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST;
DANIA BEACH, BROWARD COUNTY, FLORIDA
SEPTEMBER, 2013

BROWARD COUNTY PLANNING COUNCIL

THIS IS TO CERTIFY THAT THE BROWARD COUNTY PLANNING COUNCIL APPROVED THIS PLAT SUBJECT TO ITS COMPLIANCE WITH DEDICATION OF RIGHTS-OF-WAY FOR TRAFFICWAYS THIS _____ DAY OF _____, 20____ A.D.

BY: _____
CHAIRPERSON

THIS PLAT COMPLIES WITH THE APPROVAL OF THE BROWARD COUNTY PLANNING COUNCIL OF THE ABOVE DATE AND IS APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____, 20____ A.D.

BY: _____
EXECUTIVE DIRECTOR OR DESIGNEE

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT COUNTY RECORDS DIVISION - RECORDING SECTION

THIS INSTRUMENT WAS FILED FOR RECORD THIS _____ DAY OF _____, 20____ A.D., AND RECORDED IN

PLAT BOOK _____, PAGE _____, RECORD VERIFIED.

ATTEST: BERTHA HENRY COUNTY ADMINISTRATOR BY: _____ DEPUTY

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT COUNTY RECORDS DIVISION - MINUTES SECTION

THIS IS TO CERTIFY THAT THIS PLAT COMPLIES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES, AND WAS ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA

THIS _____ DAY OF _____, 20____.

ATTEST: BERTHA HENRY COUNTY ADMINISTRATOR BY: _____ DEPUTY

BY: _____
MAYOR - COUNTY COMMISSION

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 177, PART 1, FLORIDA STATUTES. THIS PLAT IS APPROVED AND ACCEPTED FOR RECORD.

BY: ROBERT P. LEGG, JR. DATE _____ PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION NO. LS 4030 BY: RICHARD TORNESE DATE _____ DIRECTOR PROFESSIONAL ENGINEER FLORIDA REGISTRATION NO. 40263

BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT

THIS PLAT IS APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____, 20____.

BY: _____
DIRECTOR/DESIGNEE

CITY COMMISSION

THIS IS TO CERTIFY THAT THIS PLAT, ENTITLED KOOSH AT GRIFFIN, WAS APPROVED AND ACCEPTED BY THE CITY COMMISSION OF DANIA BEACH, FLORIDA BY ORDINANCE NO. _____ ADOPTED THIS DAY OF _____, A.D. 20____, AND THAT BY SAID RESOLUTION ALL THOROUGHFARES SHOWN ON THIS PLAT WERE ACCEPTED IN THE NAME OF SAID CITY AND ALL PREVIOUS PLATS OF THIS LAND ARE CANCELLED AND SUPERSEDED.

BY: _____
MAYOR

NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT UNTIL SUCH TIME AS THE DEVELOPER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFIRMATION FROM BROWARD COUNTY THAT ALL APPLICABLE IMPACT FEES HAVE BEEN PAID OR ARE NOT DUE.

CITY PLANNING AND ZONING BOARD

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN APPROVED BY THE PLANNING AND ZONING BOARD OF THE CITY OF DANIA BEACH, FLORIDA, AND HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS DAY OF _____, A.D. 20____.

BY: _____
CHAIRPERSON

DEDICATION

STATE OF FLORIDA }
COUNTY OF BROWARD } SS

KNOW ALL MEN BY THESE PRESENTS THAT SDS DEVELOPMENT & TRUST, LLC, A FLORIDA LIMITED LIABILITY COMPANY, OWNER OF THE LANDS AS SHOWN AND DESCRIBED HEREON, HAS CAUSED SAID LANDS TO BE SUBDIVIDED AND PLATTED IN THE MANNER SHOWN HEREIN, SAID PLAT TO BE KNOWN AS KOOSH AT GRIFFIN, A REPLAT.

THE PLATTED RIGHT-OF-WAYS AND EASEMENTS, AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES.

IN WITNESS WHEREOF, THE ABOVE-NAMED COMPANY HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS OFFICERS AND THE CORPORATE SEAL AFFIXED THERETO, THIS _____ DAY OF _____, 2013.

BY: _____
SHARON SHARABY, MANAGING MEMBER

WITNESS AS TO BOTH _____ WITNESS PRINT NAME _____

WITNESS AS TO BOTH _____ WITNESS PRINT NAME _____

ACKNOWLEDGEMENT:

STATE OF FLORIDA }
COUNTY OF BROWARD } SS

I HEREBY CERTIFY THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME, THE PERSON(S) KNOWN TO ME AND DESCRIBED WITHIN, OR WHO HAS PRODUCED AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING PLAT AND INSTRUMENT OF DEDICATION AS OFFICER(S) OF SAID COMPANY, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE EXECUTED THE SAME FREELY AND VOLUNTARILY FOR THE PURPOSES THEREIN EXPRESSED, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID COMPANY.

WITNESS MY SIGNATURE AND OFFICIAL SEAL THIS _____ DAY OF _____, 2013.

SEAL/MY COMMISSION EXPIRES: _____

NOTARY PUBLIC - STATE OF FLORIDA

DEDICATION OF MORTGAGE HOLDER

STATE OF FLORIDA }
COUNTY OF BROWARD } SS

KNOW ALL MEN BY THESE PRESENTS, THAT LUIS M. PEREZ, AS HOLDER OF A CERTAIN MORTGAGE ON THE LANDS SHOWN AND DESCRIBED HEREON, AND RECORDED IN OFFICIAL RECORDS BOOK 44972, PAGE 1763, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION THERETO, SAID LANDS TO BE SUBDIVIDED AND PLATTED IN THE MANNER SHOWN HEREON.

IN WITNESS WHEREOF, SAID MORTGAGE HOLDER HAS CAUSED THESE PRESENTS TO BE SIGNED THERETO THIS _____ DAY OF _____, 20____.

BY: _____
LUIS M. PEREZ

WITNESS: _____ WITNESS: _____

WITNESS PRINT NAME: _____ WITNESS PRINT NAME: _____

ACKNOWLEDGEMENT:

STATE OF FLORIDA }
COUNTY OF BROWARD } SS

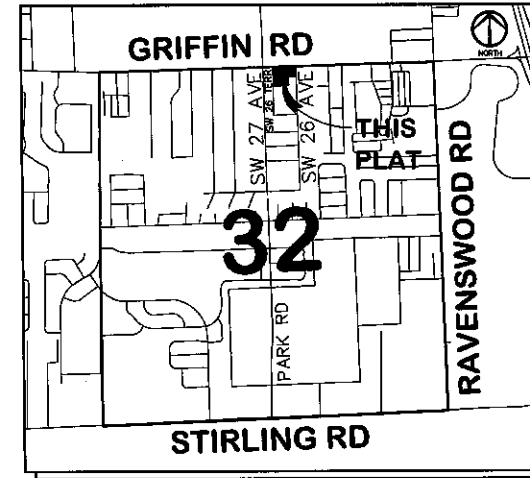
I HEREBY CERTIFY THAT ON THIS DAY, LUIS M. PEREZ, PERSONALLY APPEARED BEFORE ME, AND HE SEVERALLY ACKNOWLEDGED BEFORE ME THAT THE EXECUTION OF THE FOREGOING PLAT AND INSTRUMENT OF DEDICATION IS HIS FREE ACT AND DEED AS SUCH MORTGAGE HOLDER.

WITNESS MY SIGNATURE AND OFFICIAL SEAL AT BROWARD COUNTY, FLORIDA THIS _____ DAY OF _____, 20____.

TYPE OF IDENTIFICATION PRODUCED: _____

COMMISSION NUMBER: _____

PRINT NAME _____ NOTARY PUBLIC-STATE OF FLORIDA



DEDICATION OF MORTGAGE HOLDER

STATE OF FLORIDA }
COUNTY OF BROWARD } SS

KNOW ALL MEN BY THESE PRESENTS, THAT LINDA CUOMO, AS HOLDER OF A CERTAIN MORTGAGE ON THE LANDS SHOWN AND DESCRIBED HEREON, AND RECORDED IN OFFICIAL RECORDS BOOK 44870, PAGE 1763, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION THERETO, SAID LANDS TO BE SUBDIVIDED AND PLATTED IN THE MANNER SHOWN HEREON.

IN WITNESS WHEREOF, SAID MORTGAGE HOLDER HAS CAUSED THESE PRESENTS TO BE SIGNED THERETO THIS _____ DAY OF _____, 20____.

BY: _____
LINDA CUOMO

WITNESS: _____ WITNESS: _____

WITNESS PRINT NAME: _____ WITNESS PRINT NAME: _____

ACKNOWLEDGEMENT:

STATE OF FLORIDA }
COUNTY OF BROWARD } SS

I HEREBY CERTIFY THAT ON THIS DAY, LINDA CUOMO, PERSONALLY APPEARED BEFORE ME, AND SHE SEVERALLY ACKNOWLEDGED BEFORE ME THAT THE EXECUTION OF THE FOREGOING PLAT AND INSTRUMENT OF DEDICATION IS HER FREE ACT AND DEED AS SUCH MORTGAGE HOLDER.

WITNESS MY SIGNATURE AND OFFICIAL SEAL AT BROWARD COUNTY, FLORIDA THIS _____ DAY OF _____, 20____.

TYPE OF IDENTIFICATION PRODUCED: _____

COMMISSION NUMBER: _____

PRINT NAME _____ NOTARY PUBLIC-STATE OF FLORIDA

DESCRIPTION:

THAT CERTAIN PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 44870, PAGE 1760, BROWARD COUNTY RECORDS DESCRIBED AS FOLLOWS:

THAT PART OF TRACT 9 IN BLOCK 1 IN THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SECTION 32, TOWNSHIP 50 SOUTH RANGE 42 EAST ACCORDING TO THE "PLAT OF SECTIONS 28, 29, 31 AND 32" AS RECORDED IN PLAT BOOK 2 AT PAGE 32 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SECTION 32; THENCE NORTH 88°25'04" EAST (ASSUMED BEARING BASE) ALONG THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E. 1/4), A DISTANCE OF 508.69 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF S.W. 26TH AVENUE; THENCE SOUTH 01°29'40" EAST, ALONG SAID CENTERLINE, A DISTANCE OF 172.20 FEET; THENCE SOUTH 88°25'04" WEST, PARALLEL WITH THE NORTH LINE OF SAID SECTION 32, A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF S.W. 26TH AVENUE; THENCE CONTINUE ALONG THE LAST DESCRIBED COURSE, A DISTANCE OF 125.00 FEET; THENCE NORTH 01°29'40" WEST, PARALLEL WITH THE CENTERLINE OF S.W. 26TH AVENUE, A DISTANCE OF 137.20 FEET, TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF GRIFFIN ROAD; THENCE NORTH 88°25'04" EAST, ALONG THE SOUTHERLY RIGHT OF WAY LINE OF GRIFFIN ROAD (35 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E. 1/4)), A DISTANCE OF 94.95 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 50 FEET; THENCE EASTERLY, SOUTHEASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°05'16", AN ARC DISTANCE OF 47.17 FEET TO THE POINT OF TANGENCY, SAID POINT BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF S.W. 26TH AVENUE; THENCE SOUTH 01°29'40" EAST, ALONG SAID WESTERLY RIGHT OF WAY LINE (25 FEET WEST OF AND PARALLEL WITH THE CENTERLINE OF S.W. 26TH AVENUE), A DISTANCE OF 107.15 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH: THOSE CERTAIN PARCELS OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 49176, PAGE 1690, BROWARD COUNTY RECORDS DESCRIBED AS FOLLOWS:

PARCEL 1: THE SOUTH 100 FEET OF THE NORTH 1/4 FEET OF THE EAST 70 FEET OF THE WEST 225 FEET OF LOT 9, BLOCK 1, OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, AS SHOWN BY PLAT BOOK 2, PAGE 32, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE WEST 10 FEET FOR ROAD RIGHT OF WAY AS DESCRIBED IN OFFICIAL RECORDS BOOK 13452, PAGE 788, BROWARD COUNTY RECORDS.

PARCEL 2: THE SOUTH 100 FEET OF THE EAST 70 FEET OF THE WEST 225 FEET OF THE NORTH 296 FEET OF LOT 9, BLOCK 1, SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 32, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE WEST 10 FEET THEREOF FOR PUBLIC ROAD PURPOSES, SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

AND: THE NORTH 296 FEET OF LOT 9, BLOCK 1, SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 32 PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, EXCEPTING THEREFROM THE EAST 300 FEET THEREOF, THE WEST 225 FEET THEREOF, THE NORTH 35 FEET THEREOF RESERVED FOR ROAD PURPOSES AND ALSO EXCEPTING THEREFROM THE WEST 5 FEET OF THE EAST 305 FEET OF THE SOUTH 93.63 FEET OF THE NORTH 296 FEET OF SAID LOT 9, BLOCK 1, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

TOGETHER WITH: THAT CERTAIN PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 49736, PAGE 755, BROWARD COUNTY RECORDS DESCRIBED AS FOLLOWS:

THE SOUTH 55 FEET OF THE NORTH 196 FEET OF THE EAST 60 FEET OF THE WEST 225 FEET OF THE NORTH 296 FEET OF LOT 9, BLOCK 1 OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 32, OF THE PUBLIC RECORDS OF DADE COUNTY, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA, EXCEPT THE NORTH 55 FEET THEREOF.

THE ABOVE DESCRIBED PARCELS OF LAND TAKEN AS A WHOLE, ALSO BEING DESCRIBED AS FOLLOWS:

THAT PART OF TRACT 9 IN BLOCK 1, ACCORDING TO THE "PLAT OF SECTIONS 28, 29, 31 AND 32, T. 50S, R. 42E", AS RECORDED IN PLAT BOOK 2, PAGE 32 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST; THENCE NORTH 88°25'31" EAST, ALONG THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E. 1/4), A DISTANCE OF 508.69 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF S.W. 26TH AVENUE; THENCE SOUTH 01°29'11" EAST, ALONG SAID CENTERLINE, A DISTANCE OF 172.20 FEET; THENCE SOUTH 88°25'31" WEST, PARALLEL WITH WHEN MEASURED AT RIGHT ANGLES TO SAID NORTH LINE, A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF S.W. 26TH AVENUE; THENCE CONTINUE ALONG THE LAST DESCRIBED COURSE, A DISTANCE OF 125.00 FEET; THENCE SOUTH 01°28'01" EAST ALONG A LINE 300 FEET WEST OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, THE EAST BOUNDARY OF SAID TRACT 9, A DISTANCE OF 50.17 FEET; THENCE SOUTH 88°25'31" WEST ALONG A LINE PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 5.00 FEET; THENCE SOUTH 01°28'01" EAST ALONG A LINE 305' WEST OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID EAST BOUNDARY, A DISTANCE OF 93.63 FEET; THENCE SOUTH 88°25'31" WEST ALONG A LINE 296 FEET SOUTH OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 188.99 FEET; THENCE NORTH 01°21'05" WEST ALONG A LINE 165 FEET EAST OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, THE WEST LINE OF SAID NORTHEAST ONE-QUARTER (N.E. 1/4), A DISTANCE OF 261.00 FEET; THENCE NORTH 88°25'31" EAST ALONG THE SOUTH RIGHT OF WAY LINE FOR GRIFFIN ROAD, SAID LINE LYING 35 FEET SOUTH OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 283.37 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE EASTERLY, SOUTHEASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 30.00 FEET, THROUGH A CENTRAL ANGLE OF 90°05'16", FOR AN ARC DISTANCE OF 47.17 FEET TO A POINT OF TANGENCY; THENCE SOUTH 01°29'13" EAST, A DISTANCE OF 107.15 FEET TO THE POINT OF BEGINNING, THE LAST TWO (2) DESCRIBED COURSES LYING ALONG THE WEST RIGHT OF WAY LINE OF S.W. 26 AVENUE.

SAID LANDS LYING IN THE CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA AND CONTAINING 67,048 SQUARE FEET (1.539 ACRES), MORE OR LESS.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS RECENTLY SURVEYED, SUBDIVIDED AND PREPARED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT THE PLAT AND SURVEY DATA SHOWN CONFORMS TO ALL THE APPLICABLE REQUIREMENTS OF CHAPTER 177, PART 1, FLORIDA STATUTES, AND WITH THE APPLICABLE SECTIONS OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, AS REQUIRED TO COMPLY WITH THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE PERMANENT REFERENCE MONUMENTS (P.R.M.'S) WERE SET IN ACCORDANCE WITH SECTION 177.091 OF SAID CHAPTER 177, PART 1, ON THIS _____ TH DAY OF _____, 20____.

THE BENCHMARKS SHOWN ARE REFERENCED TO THE NATIONAL AMERICAN VERTICAL DATUM (N.V.A.D.) OF 1988 IN CONFORMITY WITH STANDARDS ADOPTED BY THE NATIONAL OCEAN SURVEY FOR THIRD ORDER VERTICAL CONTROL.

BY: _____ DATE: _____
RAYMOND YOUNG
PROFESSIONAL LAND SURVEYOR AND MAPPER
STATE OF FLORIDA REGISTRATION NUMBER 5799
CRAVEN THOMPSON & ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NUMBER LICENSE BUSINESS 271

PLAT PREPARED BY:

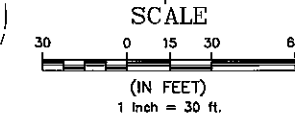
CRAVEN THOMPSON & ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 63RD STREET, FORT LAUDERDALE, FLORIDA 33309-8311
TEL: (954) 739-6400 FAX: (954) 739-6409
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS No. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. C000114
13-0033

KOOSH AT GRIFFIN

A REPLAT OF A PORTION OF TRACT 9, BLOCK 1, PLAT OF SEC'S 28, 29, 31 AND 32 T. 50 S., R. 42 E., PLAT BOOK 2, PAGE 32, DADE COUNTY RECORDS; SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST; DANIA BEACH, BROWARD COUNTY, FLORIDA
SEPTEMBER, 2013

LEGEND

	INDICATES NAIL W/ LB271 PRM DISC
	INDICATES 4" x 4" CONCRETE MONUMENT, MINIMUM LENGTH 24", STAMPED WITH "PRM-LB271" DISC
B.C.R.	INDICATES BROWARD COUNTY RECORDS
BM ELEV. 0.00'	INDICATES BENCHMARK ELEVATION (IN FEET)
(C)	INDICATES CALCULATED
±	INDICATES CENTERLINE
D.B.	INDICATES DEED BOOK
(F)	INDICATES FIELD MEASUREMENT
FPL	INDICATES FLORIDA POWER AND LIGHT
L	INDICATES ARC LENGTH
LB	INDICATES LICENSED BUSINESS
M.D.C.R.	INDICATES MIAMI-DADE COUNTY RECORDS
NAVD88	INDICATES NORTH AMERICAN VERTICAL DATUM OF 1988
NGVD29	INDICATES NATIONAL GEODETIC VERTICAL DATUM OF 1929
O.R.B.	INDICATES OFFICIAL RECORDS BOOK
(P)	INDICATES PER PLAT
P.B.	INDICATES PLAT BOOK
P.C.P.	INDICATES PERMANENT CONTROL POINT
P.G.	INDICATES PAGE
P.R.M.	INDICATES PERMANENT REFERENCE MONUMENT
R	INDICATES RADIUS
R/W	INDICATES RIGHT OF WAY
S.F.	INDICATES SQUARE FEET
W/	INDICATES WITH
	INDICATES NON-VEHICULAR ACCESS LINE (N.V.A.L.)
∠	INDICATES CENTRAL ANGLE



PLAT NOTES:

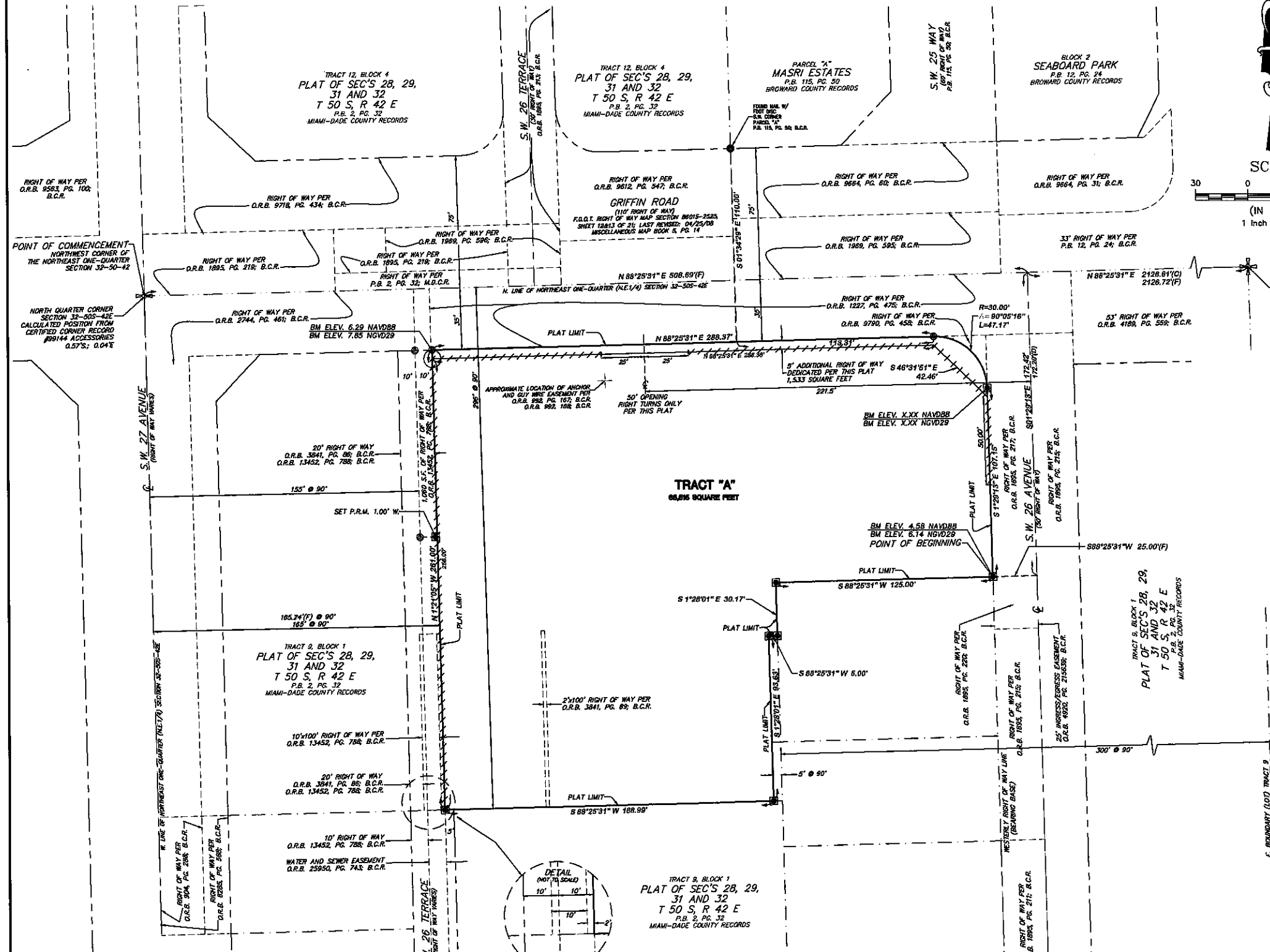
- THIS PLAT IS RESTRICTED TO 30,000 SQUARE FEET OF COMMERCIAL USE, 5,000 SQUARE FEET OF BANK USE AND 5,000 SQUARE FEET OF OFFICE USE.

THIS NOTE IS REQUIRED BY CHAPTER 5, ARTICLE IX, BROWARD COUNTY CODE OF ORDINANCES, AND MAY BE AMENDED BY APPROVAL OF THE BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS. THE NOTATION AND ANY AMENDMENTS THERE TO ARE SOLELY INDICATING THE APPROVED DEVELOPMENT LEVEL FOR PROPERTY LOCATED WITHIN THE PLAT AND DO NOT OPERATE AS A RESTRICTION IN FAVOR OF ANY PROPERTY OWNER INCLUDING AN OWNER OR OWNERS OF PROPERTY WITHIN THIS PLAT WHO TOOK TITLE TO THE PROPERTY WITH REFERENCE TO THIS PLAT.
- THE FOLLOWING NOTE IS REQUIRED BY THE BROWARD COUNTY SURVEYOR PURSUANT TO CHAPTER 177.091, SUBSECTION (28), FLORIDA STATUTES: PLATTED UTILITY EASEMENTS ARE ALSO EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS NOTE DOES NOT APPLY TO PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRIC SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- IF A BUILDING PERMIT FOR A PRINCIPAL BUILDING (EXCLUDING DRY MODELS, SALES AND CONSTRUCTION OFFICES) AND FIRST INSPECTION APPROVAL ARE NOT ISSUED BY 2018, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME; AND/OR
- IF CONSTRUCTION OF PROJECT WATER LINES, SEWER LINES, DRAINAGE, AND THE ROCK BASE FOR INTERNAL ROADS HAVE NOT BEEN SUBSTANTIALLY COMPLETED BY 2018, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME.
- NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN, AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S NOTES:

- THE ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) AND ARE REFERENCED TO G.P.S. #8, A B.C.L.D. BRASS DISC SET IN CONCRETE, S.W. 42 STREET, WEST OF THE REMOTE PARKING FACILITY, AS SHOWN ON FORT LAUDERDALE-HOLLYWOOD INTERNATIONAL AIRPORT SURVEY CONTROL MAP, WHOSE PUBLISHED ELEVATION IS 4.308, AS SHOWN ON THE SURVEY CONTROL MAP FOR FORT LAUDERDALE-HOLLYWOOD INTERNATIONAL AIRPORT, BROWARD COUNTY, FLORIDA PREPARED BY STONER & ASSOCIATES, INC. PROJECT #96-5464, DATED: 02/02/96.

ELEVATIONS SHOWN AS "NGVD29" ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929. NGVD29 ELEVATIONS WERE DERIVED FROM SUBTRACTING 1.60' FROM NAVD88 ELEVATIONS AS CALCULATED FROM THE DIFFERENCE BETWEEN NAVD88 SITE BENCH MARKS TO BROWARD COUNTY ENGINEERING DEPARTMENT BENCHMARK #1127 (NGVD29).
- BEARINGS SHOWN HEREIN ARE BASED ON AN ASSUMED MERIDIAN. THE NORTH BOUNDARY OF PARCEL "A", BUGLIGHT PLAT, PLAT BOOK 141, PAGE 6 IS ASSUMED TO BEAR NORTH 87°26'40" EAST.



Craven Thompson & Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309-8311
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FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS No. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. 0000114

SKETCH OF SURVEY BOUNDARY AND TOPOGRAPHIC SURVEY

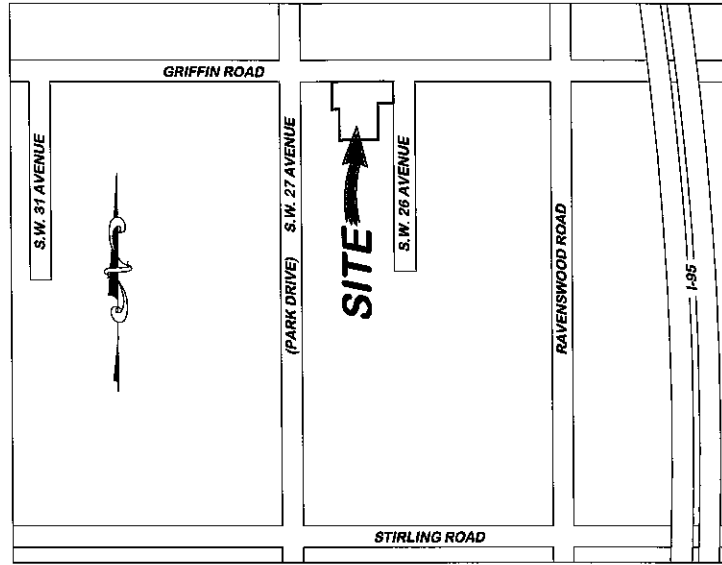
ELEVATIONS SHOWN HEREON ARE BASED ON THE
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representation or guarantee as to the information reflected herein pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and the information is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

DATE:	10-03-13
SCALE:	N/A
DRAWN BY:	RY
CHECKED BY:	TCS
FIELD BOOK:	2587
PAGE(S):	4-7/26

SURVEYOR'S NOTES:

- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF SDS DEVELOPMENT AND TRUST, LLC, FOR THE EXPRESS PURPOSE STATED HEREON AND/OR CONTAINED IN THE CONTRACT AND AFOREMENTIONED CLIENT FOR THIS PROJECT.
- THE INTENT OF THIS SURVEY IS TO SHOW THE LOCATION OF THE IMPROVEMENTS WITHIN AND ADJACENT TO THE HEREON DESCRIBED PARCEL OF LAND. REUSE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION, WILL BE AT THE RE-USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. UNDERGROUND FOUNDATIONS OR OTHER BURIED ENCROACHMENTS WERE NOT LOCATED IN CONNECTION WITH THIS SURVEY UNLESS OTHERWISE NOTED.
- THE EXPECTED USE OF THIS SURVEY AND MAP IS FOR COMMERCIAL/HIGH RISK, THEREFORE THIS SURVEY IS CLASSIFIED AS COMMERCIAL/HIGH RISK LINEAR AND EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED BY THE FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17-6, F.A.C.).
- THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE. HORIZONTAL FEATURE LOCATIONS ARE TO THE CENTER OF THE SYMBOL AND MAY BE ENLARGED FOR CLARITY AS STATED UNDER RULE 5J-17-6.003(3)(H) F.A.C.
- THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=30' OR SMALLER FOR SHEETS S-2 AND S-3.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MERIDIAN. THE WEST RIGHT OF WAY LINE OF S.W. 26 AVENUE IS ASSUMED TO BEAR SOUTH 01°29'13" EAST.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) AND REFERENCED TO BENCHMARK: GPS #8, B.C.E.D. BRASS DISC SET IN CONCRETE, SW 42ND STREET, WEST OF REMOTE PARKING FACILITY, AS SHOWN ON FORT LAUDERDALE-HOLLYWOOD INTERNATIONAL AIRPORT SURVEY CONTROL MAP, WHOSE PUBLISHED ELEVATION IS 4.358, AS SHOWN ON THE SURVEY CONTROL MAP FORT LAUDERDALE-HOLLYWOOD INTERNATIONAL AIRPORT, BROWARD COUNTY, FLORIDA. PREPARED BY STONER & ASSOCIATES, INC. PROJECT #96-3464, DATED 2/2/96.
- THE MEASUREMENTS SHOWN HEREON WERE OBTAINED USING A "LEICA TOR-802 POWER REFLECTORLESS" TOTAL STATION AND "TDS" DATA COLLECTION SOFTWARE. THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES.



LOCATION SKETCH
(NOT TO SCALE)

DESCRIPTION:

THAT CERTAIN PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 48870, PAGE 1760, BROWARD COUNTY RECORDS DESCRIBED AS FOLLOWS:

THAT PART OF TRACT 9 IN BLOCK 1 IN THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST ACCORDING TO THE PLAT OF SECTIONS 28, 29, 31 AND 32, AS RECORDED IN PLAT BOOK 2 AT PAGE 32 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SECTION 32; THENCE NORTH 89°25'04" EAST (ASSUMED BEARING BASE), ALONG THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E. 1/4), A DISTANCE OF 508.69 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF S.W. 26TH AVENUE; THENCE SOUTH 01°29'40" EAST, ALONG SAID CENTERLINE, A DISTANCE OF 172.20 FEET; THENCE SOUTH 89°25'04" WEST, PARALLEL WITH THE NORTH LINE OF SAID SECTION 32, A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF S.W. 26TH AVENUE; THENCE CONTINUE ALONG THE LAST DESCRIBED COURSE, A DISTANCE OF 125.00 FEET; THENCE NORTH 01°29'40" WEST, PARALLEL WITH THE CENTERLINE OF S.W. 26TH AVENUE, A DISTANCE OF 137.20 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF GRIFFIN ROAD; THENCE NORTH 89°25'04" EAST, ALONG THE SOUTHERLY RIGHT OF WAY LINE OF GRIFFIN ROAD (35 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E. 1/4)), A DISTANCE OF 94.58 FEET TO A POINT OF CURVATURE OF A CURVE CONVEX TO THE SOUTHWEST AND HAVING A RADIUS OF 30 FEET; THENCE EASTERLY, SOUTHEASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°05'16"; AN ARC DISTANCE OF 47.17 FEET TO THE POINT OF TANGENCY; SAID POINT BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF S.W. 26TH AVENUE; THENCE SOUTH 01°29'40" EAST, ALONG SAID WESTERLY RIGHT OF WAY LINE (25 FEET WEST OF AND PARALLEL WITH THE CENTERLINE OF S.W. 26TH AVENUE), A DISTANCE OF 107.15 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:

THOSE CERTAIN PARCELS OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 49176, PAGE 1690, BROWARD COUNTY RECORDS DESCRIBED AS FOLLOWS:

PARCEL 1:

THE SOUTH 106 FEET OF THE NORTH 141 FEET OF THE EAST 70 FEET OF THE WEST 225 FEET OF LOT 9, BLOCK 1, OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, AS SHOWN BY PLAT BOOK 2, PAGE 32, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

PARCEL 2:

THE SOUTH 100 FEET OF THE EAST 70 FEET OF THE WEST 225 FEET OF THE NORTH 286 FEET OF LOT 9, BLOCK 1, SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 32, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE WEST 10 FEET THEREOF FOR PUBLIC ROAD PURPOSES, SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

PARCEL 3:

THE NORTH 286 FEET OF LOT 9, BLOCK 1, SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 32, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, EXCEPTING THEREFROM THE EAST 300 FEET THEREOF, THE WEST 225 FEET THEREOF, THE NORTH 35 FEET THEREOF RESERVED FOR ROAD PURPOSES AND ALSO EXCEPTING THEREFROM THE WEST 5 FEET OF THE EAST 305 FEET OF THE SOUTH 93.63 FEET OF THE NORTH 286 FEET OF SAID LOT 9, BLOCK 1, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

THAT CERTAIN PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 49736, PAGE 755, BROWARD COUNTY RECORDS DESCRIBED AS FOLLOWS:

THE SOUTH 55 FEET OF THE NORTH 196 FEET OF THE EAST 60 FEET OF THE WEST 225 FEET OF THE NORTH 286 FEET OF LOT 9, BLOCK 1 OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 32, OF THE PUBLIC RECORDS OF DADE COUNTY, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA, EXCEPT THE NORTH 35 FEET THEREOF.

THE ABOVE DESCRIBED PARCELS OF LAND TAKEN AS A WHOLE, ALSO BEING DESCRIBED AS FOLLOWS:

THAT PART OF TRACT 9 IN BLOCK 1 IN THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SECTION 32, TOWNSHIP 50 SOUTH, RANGE 42 EAST ACCORDING TO THE PLAT OF SECTIONS 28, 29, 31 AND 32, AS RECORDED IN PLAT BOOK 2, PAGE 32 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SECTION 32; THENCE NORTH 89°25'31" EAST, ALONG THE NORTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E. 1/4), A DISTANCE OF 508.69 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF S.W. 26TH AVENUE; THENCE SOUTH 01°29'13" EAST, ALONG SAID CENTERLINE, A DISTANCE OF 172.20 FEET; THENCE SOUTH 89°25'31" WEST, PARALLEL WITH WHEN MEASURED AT RIGHT ANGLES TO SAID NORTH LINE, A DISTANCE OF 28.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF S.W. 26TH AVENUE; THENCE CONTINUE ALONG THE LAST DESCRIBED COURSE, A DISTANCE OF 125.00 FEET; THENCE SOUTH 01°29'01" EAST ALONG A LINE 300 FEET WEST OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, THE EAST BOUNDARY OF SAID TRACT 9, A DISTANCE OF 30.17 FEET; THENCE SOUTH 89°25'31" WEST ALONG A LINE PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 5.00 FEET; THENCE SOUTH 01°29'01" EAST ALONG A LINE 305 FEET WEST OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID EAST BOUNDARY, A DISTANCE OF 93.63 FEET; THENCE SOUTH 89°25'31" WEST ALONG A LINE 286 FEET SOUTH OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 188.99 FEET; THENCE NORTH 01°21'05" WEST ALONG A LINE 165 FEET EAST OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, THE WEST LINE OF SAID NORTHEAST ONE-QUARTER (N.E. 1/4), A DISTANCE OF 155.00 FEET; THENCE SOUTH 89°25'31" WEST ALONG A LINE 141 FEET SOUTH OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 10.00 FEET; THENCE NORTH 01°21'05" WEST ALONG A LINE 135 FEET EAST OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID WEST LINE, A DISTANCE OF 160.00 FEET; THENCE NORTH 89°25'31" EAST ALONG THE SOUTH RIGHT OF WAY LINE FOR GRIFFIN ROAD, SAID LINE LYING 35 FEET SOUTH OF AND PARALLEL WITH, WHEN MEASURED AT RIGHT ANGLES TO, SAID NORTH LINE, A DISTANCE OF 288.37 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE EASTERLY, SOUTHEASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 30.00 FEET, THROUGH A CENTRAL ANGLE OF 90°05'16", FOR AN ARC DISTANCE OF 47.17 FEET TO A POINT OF TANGENCY; THENCE SOUTH 01°29'13" EAST, A DISTANCE OF 107.15 FEET TO THE POINT OF BEGINNING, THE LAST TWO (2) DESCRIBED COURSES LYING ALONG THE WEST RIGHT OF WAY LINE OF S.W. 26 AVENUE.

SAID LANDS LYING IN THE CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA AND CONTAINING 68,108 SQUARE FEET (1.564) ACRES MORE OR LESS.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS SKETCH OF SURVEY AND OTHER PERTINENT DATA SHOWN HEREON, OF THE ABOVE DESCRIBED PROPERTY WAS MADE ON THE GROUND, CONFORMS TO THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA, AS OUTLINED IN RULES 5J-17.051 AND 5J-17.052, (FLORIDA ADMINISTRATIVE CODE) AS ADOPTED BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN SEPTEMBER 1981, AS AMENDED, PURSUANT TO CHAPTER 475.002, FLORIDA STATUTES AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION IN AUGUST, 2010

LAST DATE OF FIELD WORK: 10-03-13

CRAVEN THOMPSON & ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NO. LB271

RAYMOND YOUNG
PROFESSIONAL SURVEYOR & MAPPER NO. 5799
STATE OF FLORIDA

THIS SURVEY MAP AND REPORT OR COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR A UNIQUE ELECTRONIC SIGNATURE OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER UNDER CHAPTER RULES 5J-17.061 & 5J-17.062 FLORIDA ADMINISTRATIVE CODE.

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS - PLANNERS - SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAC. (954) 759-6409 TEL.: (954) 739-6400
FLORIDA LICENSED SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED ARCHITECTURE BUSINESS NO. C000114
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
MIRIAM BEACH, FLORIDA
CRAVEN THOMPSON & ASSOCIATES, INC. IS AN AFFILIATE OF THE SURVEYING AND MAPPING DIVISION OF THE STATE OF FLORIDA
IN WITNESS WHEREOF, I HAVE HEREON SET MY HAND AND SEAL OF OFFICE AS A PROFESSIONAL SURVEYOR AND MAPPER IN THE CITY OF DANIA BEACH, FLORIDA, ON OCTOBER 03, 2013.

GRIFFIN COMMERCIAL SITE
GRIFFIN ROAD & S.W. 26th AVENUE
PREPARED FOR:
SDS DEVELOPMENT & TRUST, LLC
BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT NO.
13-0033-001-01

S-1
SHEET 1 OF 3

SEE SHEET S-2 FOR BOUNDARY INFORMATION AND SITE TOPOGRAPHIC INFORMATION
SEE SHEET S-3 FOR SITE TOPOGRAPHIC INFORMATION

THIS DRAWING WAS NOT PLOTTED BY THE SURVEY DEPARTMENT

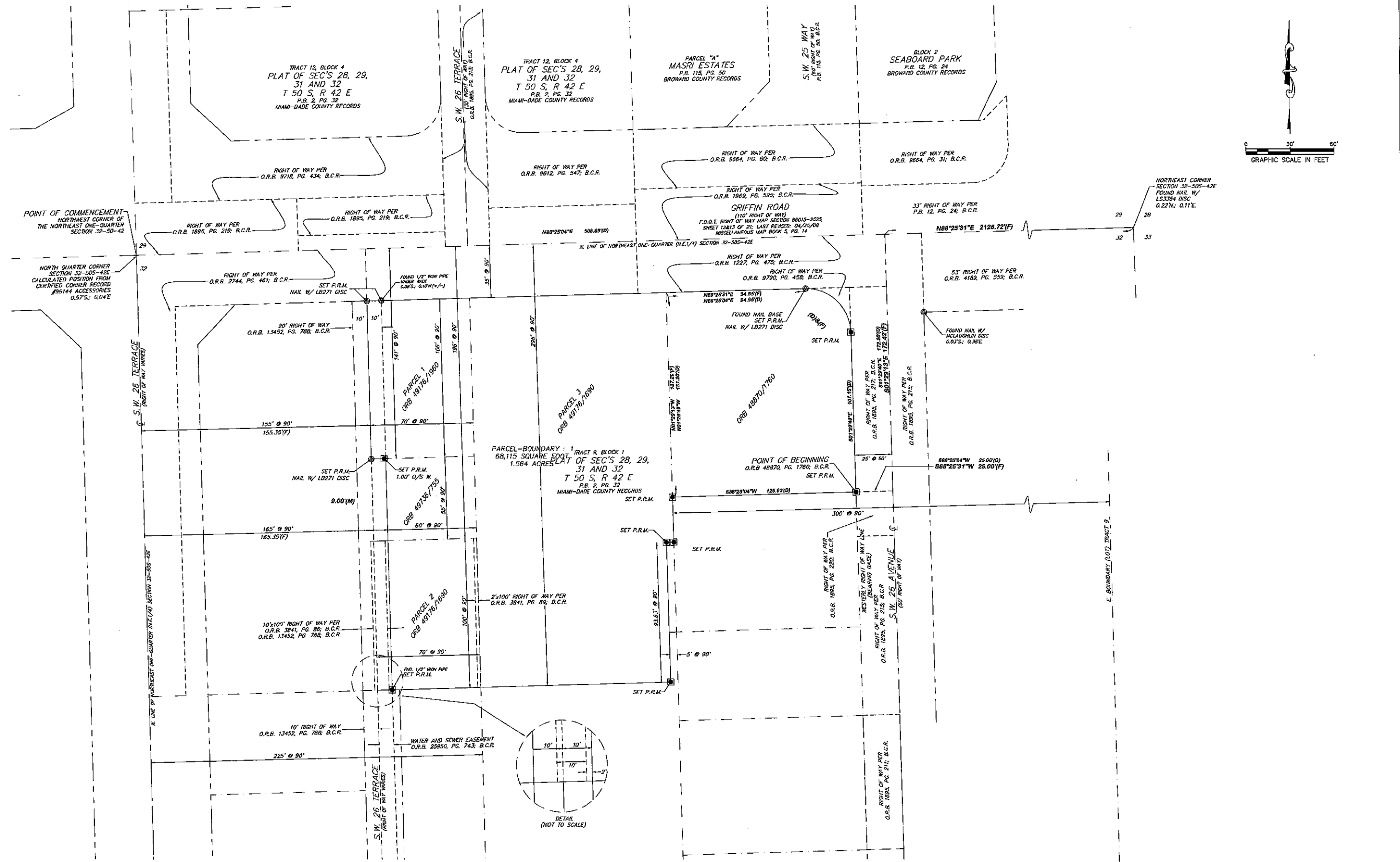
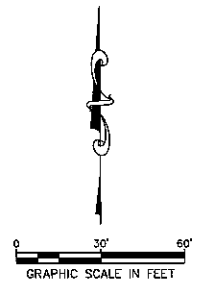
K:\Sharon\cosh\Survey\Updated Survey\13-0033_CALCOS - export to 2004_10-23-13\13-0033_CALCOS.dwg [5-] Oct 27, 2014 12:18pm 6520711

ABBREVIATION LEGEND	SYMBOL LEGEND
A/C AIR CONTAINER	— UTILITY ANCHOR
B.C.R. BROWARD COUNTY RECORDS	● BOLLARD
BH BUD HEIGHT	○ MAILBOX
B.O.S. BOTTOM OF STRUCTURE	■ CURB INLET
(C) CALCULATED	⊕ STORM DRAIN MANHOLE
C&G CURB AND GUTTER	⊙ SANITARY SEWER MANHOLE
C.L.F. CHAIN LINK FENCE	— SINGLE POST SIGN
C.M.P. CORRUGATED METAL PIPE	☐ TELEPHONE PULLBOX
CONC. CONCRETE	⊖ ELECTRIC PULLBOX
C.T.A. CRAVEN THOMPSON & ASSOCIATES, INC.	⊗ TRAFFIC SIGNAL PULLBOX
(D) PER DESCRIPTION	⊕ WATER VALVE
ELEV. ELEVATION	⊖ WATER METER
(F) FIELD MEASURED	— BACKFLOW PREVENTOR
FDOT FLORIDA DEPARTMENT OF TRANSPORTATION	⊕ DOUBLE DETECTOR CHECK VALVE
F.F. FINISHED FLOOR	⊖ ELECTRIC OUTLET
FND. FOUND	⊕ WOOD POWER POLE
I.E. INVERT ELEVATION	⊕ WOOD POWER POLE W/ LIGHT
L ARC LENGTH	⊕ METAL LIGHT POLE
L.B. LICENSED BUSINESS	⊕ CONCRETE POWER POLE
M.D.C.R. MIAMI-DADE COUNTY RECORDS	⊕ CONCRETE POWER POLE W/LIGHT
O.H. OVER HANG	⊕ CONCRETE POWER POLE W/LIGHT
O.H.B. OFFICIAL RECORDS BOOK	⊕ PALM TREE
O/S OFF SET	⊕ IRRIGATION CONTROL VALVE
P.B. PLAT BOOK	⊕ FIRE HYDRANT
P.C. POLY VINYL CHLORIDE PIPE	⊕ MONITORING WELL
R RADIUS	+ 10.0 SPOT GROUND ELEVATION
R.C.P. REINFORCED CONCRETE PIPE	+ 10.00 SPOT HARD SURFACE ELEVATION
R.E. RM ELEVATION	— OVERHEAD WRES
R/W RIGHT OF WAY	
S.F. SQUARE FEET	
W/ WITH	
W.F. WOOD FENCE	
∠ CENTRAL ANGLE	
P.R.M. PERMANENT REFERENCE MONUMENT	
4"x4" CONCRETE MONUMENT W/ LB271 DISC (UNLESS OTHERWISE NOTED)	
ε CENTERLINE	

SKETCH OF SURVEY BOUNDARY AND TOPOGRAPHIC SURVEY

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or warranties as to the information reflected herein pertaining to easements, right-of-way set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification. NOTE: Lots shown herein were not obstructed for right-of-way and/or easements of record.

DATE:	10-03-13
SCALE:	1"=30'
DRAWN BY:	RY
CHECKED BY:	TCS
FIELD BOOK:	2597
PAGE(S):	4-27, 28



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SEE SHEET S-1 FOR DESCRIPTION, SURVEYOR'S NOTES, CERTIFICATION, LEGENDS AND LOCATION SKETCH
SEE SHEET S-3 FOR SITE TOPOGRAPHIC INFORMATION

CRAVEN THOMPSON AND ASSOCIATES, INC.
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FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
CRAVEN THOMPSON AND ASSOCIATES, INC. IS AN EQUAL OPPORTUNITY EMPLOYER. CRAVEN THOMPSON AND ASSOCIATES, INC. IS AN EQUAL OPPORTUNITY EMPLOYER. CRAVEN THOMPSON AND ASSOCIATES, INC. IS AN EQUAL OPPORTUNITY EMPLOYER.

GRIFFIN COMMERCIAL SITE
GRIFFIN ROAD & S.W. 26th AVENUE
PREPARED FOR:
SDS DEVELOPMENT & TRUST, LLC
BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT NO.
13-0033-001-01
S-2
SHEET 2 OF 3

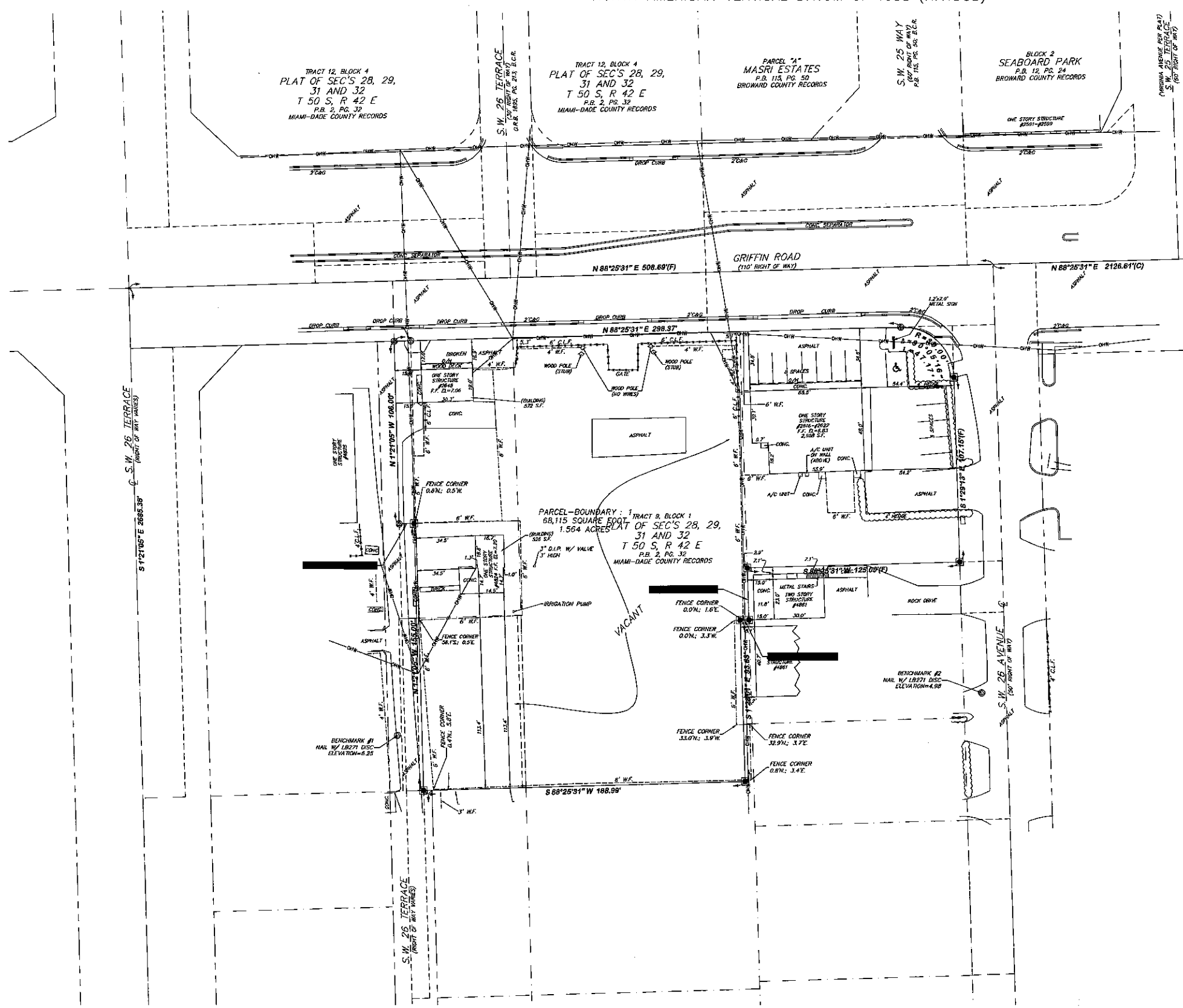
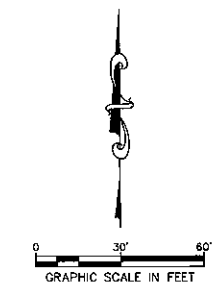
THIS DRAWING WAS NOT PLOTTED BY THE SURVEY DEPARTMENT

SKETCH OF SURVEY BOUNDARY AND TOPOGRAPHIC SURVEY

ELEVATIONS SHOWN HEREON ARE BASED ON THE
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representation or guarantee as to the information reflected herein pertaining to assessments, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to restrict or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not obstructed for right-of-way and/or easements of record.

DATE:	10-03-13
SCALE:	1"=30'
DRAWN BY:	RY
CHECKED BY:	TCS
FIELD BOOK:	2587
BY:	RY
DATE:	4-21-14
DESCRIPTION:	



PT.#	DESCRIPTION
900	6" TWIN UNKNOWN
901	36" CLUSTER ARECA PALM BH=6"
902	60" BANYAN TREE
903	3" BANYAN TREE
904	8" CHINESE FAN PALM BH=6"
905	12" ARECA BAMBOO PALM BH=6"
906	4" UNKNOWN
907	3" GUMBO LIMBO
1239	10" COCONUT PALM BH=30"
1240	16" SCREW PINE
1477	10" QUEEN PALM BH=30"
1589	12" COCONUT PALM BH=5"
1600	10" QUEEN PALM BH=14"
1634	36" BANYAN TREE
1661	3" UNKNOWN
1687	18" OAK
1696	20" BLACK OLIVE
1707	18" GUMBO LIMBO
1708	10" COCONUT PALM BH=30"
1731	18" OAK
1792	14" OAK
1812	36" OAK
1871	30" MALALEUCA
1872	18" SCHEFFLERA
1873	6" ALEXANDER PALM BH=22'
1874	6" ALEXANDER PALM BH=22'
1875	6" ALEXANDER PALM BH=22'
1876	6" ALEXANDER PALM BH=22'
1877	6" ALEXANDER PALM BH=22'
1878	6" ALEXANDER PALM BH=22'
1879	6" ALEXANDER PALM BH=22'
1880	6" ALEXANDER PALM BH=22'
1881	6" ALEXANDER PALM BH=22'

SEE SHEET S-1 FOR DESCRIPTION, SURVEYOR'S NOTES, CERTIFICATION, LEGENDS AND LOCATION SKETCH
SEE SHEET S-2 FOR SITE BOUNDARY INFORMATION

THIS DRAWING WAS NOT PLOTTED BY THE SURVEY DEPARTMENT

CRAVEN - THOMPSON AND ASSOCIATES, INC.
ENGINEERS - PLANNERS - SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 730-6400
FAX: (954) 730-6409
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED ARCHITECTURE BUSINESS NO. C00014
CRAVEN THOMPSON AND ASSOCIATES, INC. IS AN EQUAL OPPORTUNITY EMPLOYER. WE DO NOT DISCRIMINATE ON THE BASIS OF RACE, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, COLOR, SEX, OR AGE IN ANY OF OUR EMPLOYMENT PRACTICES.

GRIFFIN COMMERCIAL SITE
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SDS DEVELOPMENT & TRUST, LLC
BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT NO.
13-0033-001-01

S-3
SHEET 3 OF 3

H:\Sharon\Kash\Survey\Updated Survey\13-0033_CALC.S - export to 2004_10-23--1113-0033_CALC.S.dwg [S-3] Oct 27, 2014 12:19pm 6500771